



ITEMS INSPECTED



MAINTENANCE ITEM



RECOMMENDATION



IMMEDIATE ACTION
NEEDED

2.1.1 Roof Covering

ASPHALT SHINGLES ARE MOSSY



Mossy shingles are common to north-facing roof slopes and sections overhung by trees. The best fix is prevention: Cutting back branches and periodically clearing debris off the roof will help.

Recommendation
Recommended DIY Project



2.1.2 Roof Covering

ROOFING CEMENT PATCHES



Just an FYI, patching usually suggests a homeowner who has found leaks and is trying to buy a few more years by patching obvious cracks and nail pops.

Recommendation
Recommended DIY Project



2.2.1 Flashing **CORRODED - MINOR**

Roof flashing showed signs of corrosion, but seemed to not be a major defect. Flashing should be monitored to prevent severe corrosion leading to moisture intrusion.

Recommendation
Contact a qualified roofing professional.

 Recommendation



3.1.1 Masonry Chimney **CROWNED CAP WAS DAMAGED**

I observed indications of damage at the chimney wash or crowned cap. This is the top of the chimney that is shaped or "crowned" to divert water away from the top of the chimney stack.

If a wash or crown on top of the chimney is not properly sloped or is extensively cracked, defective, spalled, or displays rust stains, it should be replaced. Sheet metal caps/crowns with minor rust or corrosion should be repaired, but if rust or corrosion is extensive, replacement is recommended.

Recommendation
Contact a qualified chimney contractor.

 Recommendation



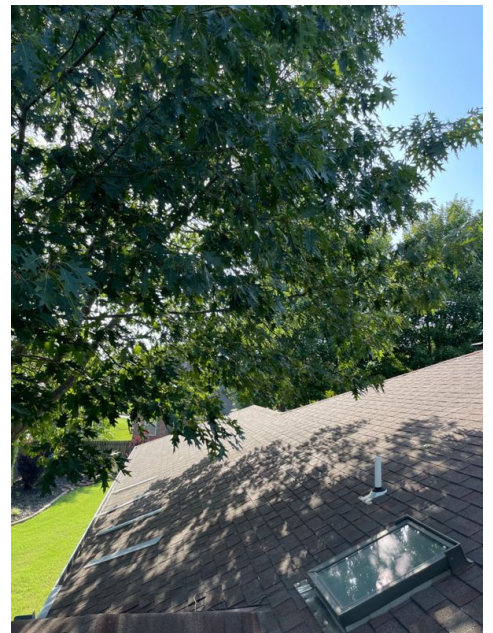
4.4.1 Vegetation, Surface Drainage & Retaining Walls

TREE OVERHANG

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. Recommend a qualified tree service trim the limbs back.

Recommendation

Contact a qualified tree service company.



4.5.1 Gutters & Downspouts

DOWNSPOUT DRAINS NEAR HOUSE

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation. A handy homeowner should be able to do this project.

Recommendation

Recommended DIY Project





4.5.2 Gutters & Downspouts

GUTTER DAMAGED

I observed damage to the gutter. This is a defect that should be corrected by a professional contractor.

Recommendation

Contact a qualified gutter contractor



4.5.3 Gutters & Downspouts

GUTTER LEAKAGE

I observed evidence of a water leak from a gutter, which could result in water not being properly collected and drained away. This is a defect that should be corrected by a professional contractor.

Recommendation

Contact a qualified gutter contractor



Front porch

4.5.4 Gutters & Downspouts

DIVERTER BROKEN OR CRACKED



Diverted is cracked or broken, this can allow water too close to the foundation.

Recommendation
Contact a qualified professional.



South

4.6.1 Decks, Patios & Balconies

PATIO CRACKING - MINOR

Normal settling & cracking observed. Recommend monitor and/or patch/seal.

Recommendation
Contact a handyman or DIY project

 Maintenance Item



4.7.1 Electrical

GFCI DEFECT

 Recommendation

I observed indications of a defect at a GFCI. Would not trip.

Recommendation
Contact a qualified electrical contractor.



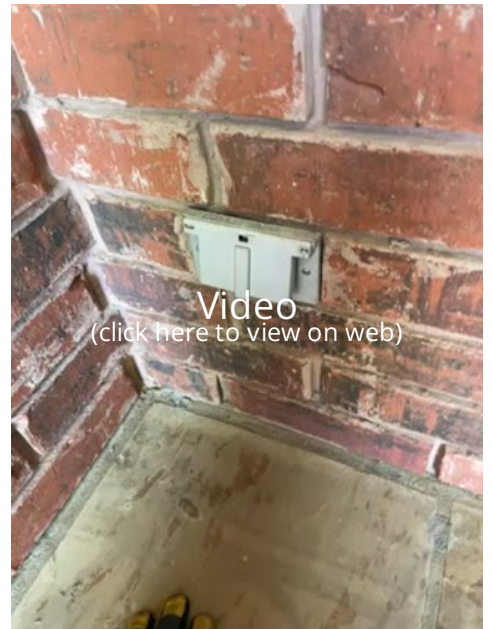
Patio

4.7.2 Electrical **COVER LOOSE**

Cover is loose, should be tight.

Recommendation
Contact a qualified professional.

 Recommendation



4.7.3 Electrical **LIGHT FIXTURE IS LOOSE**

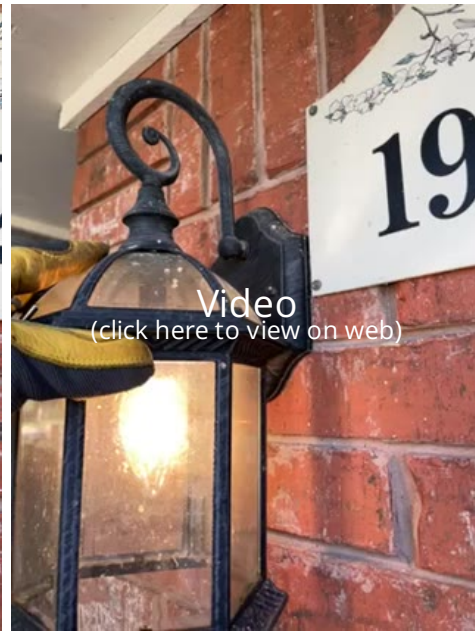
Light fixture is loose, this should be tightened to prevent water intrusion.

Recommendation
Contact a qualified professional.

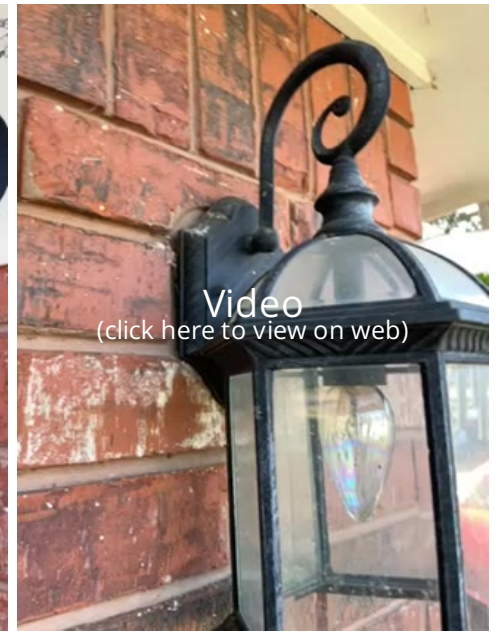
 Recommendation



Front



Video
(click here to view on web)



Video
(click here to view on web)

4.8.1 Doors

DOOR DOES NOT CLOSE OR LATCH

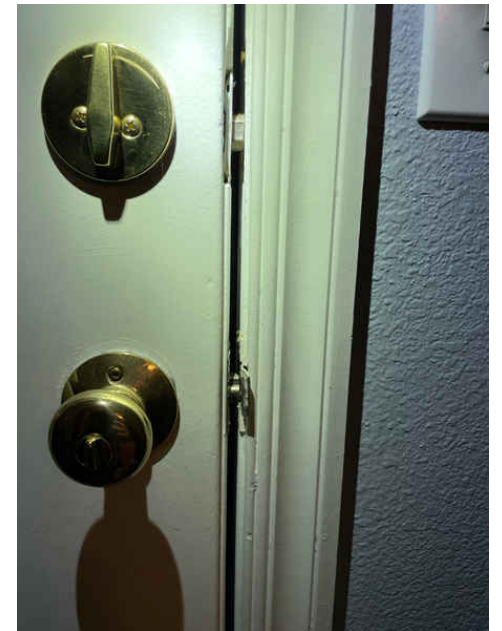
 Recommendation

Door does not close or latch properly. Recommend qualified handyman adjust strike plate and/or lock.

[Here is a DIY troubleshooting article](#) on fixing door issues.

Recommendation

Contact a qualified door repair/installation contractor.



Master Bedroom

4.11.1 Eaves, Soffits & Fascia

FASCIA DAMAGED

 Recommendation

I observed indications that one or more areas of the fascia were damaged.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified roofing professional.



Backyard

4.11.2 Eaves, Soffits & Fascia

FASCIA ROTTED

One or more sections of the fascia are rotted. Recommend qualified roofer evaluate & repair.

Recommendation

Contact a qualified roofing professional.



Backyard

4.11.3 Eaves, Soffits & Fascia

WASPS NEST

Wasp nests were visible under the soffits. Recommend a qualified exterminator evaluate and remove.

Recommendation

Contact a qualified pest control specialist.





Front

5.4.1 Hot Water Source (Heater)

DOUBLE-WALL FLUE PIPE NEEDS 1 IN. CLEARANCE

There should be at least 1 in. between double-wall metal flue pipe and combustible surfaces such as wall or floor framing.

Recommendation

Contact a qualified HVAC professional.

 Recommendation



7.1.1 Door to Living Space

DOOR NOT SELF-CLOSING

Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.

[DIY Resource Link.](#)

Recommendation

Contact a qualified door repair/installation contractor.

 Immediate Action Needed

7.3.1 Garage Door Opener

DEFECT AT WARNING LABEL

 Maintenance Item

There is a defect at a warning label.

The garage door should have the following warning labels:

1. a spring warning label attached to the spring assembly or the back of the door panel;
2. a general warning label attached to the back of the door panel;
3. a warning label near the wall control button; and
4. two warning labels attached to the door in the vicinity of the bottom corner brackets. Some newer doors have tamper-resistant bottom corner brackets that do not require these warning labels.

Recommendation
Contact a qualified professional.

7.3.2 Garage Door Opener

WALL BUTTON LESS THAN 5 FT. OFF FLOOR

 Recommendation

The wall button should be at least 5 feet above the standing surface, and high enough to be out of reach of small children.

Recommendation
Contact a qualified garage door contractor.



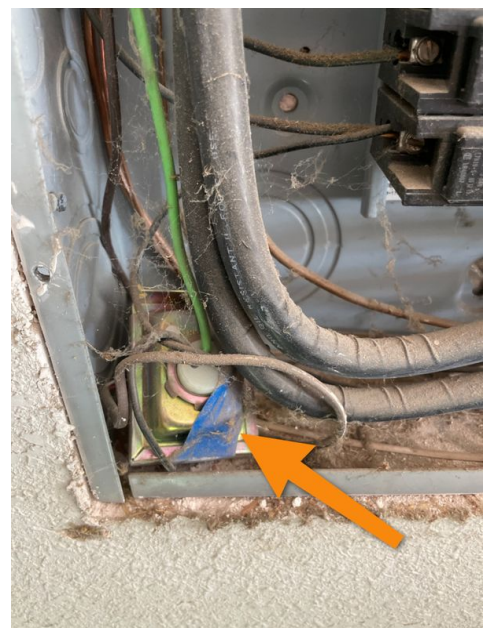
8.4.1 Panelboards & Breakers

DOORBELL TRANSFORMER INSIDE CABINET

 Recommendation

I observed that the doorbell transformer was installed within the cabinet, which is not permitted.

Recommendation
Contact a qualified electrical contractor.



8.4.2 Panelboards & Breakers

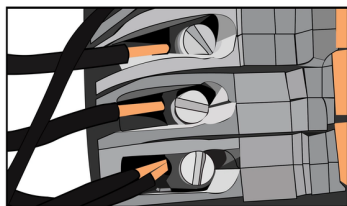
DOUBLE TAPPED BREAKERS

 Recommendation

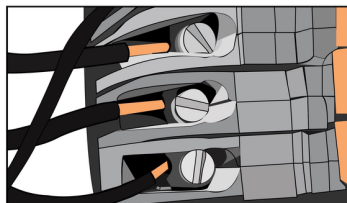
I observed doubled hot conductor wires connected to the same single breaker disconnect.

Each breaker should have just one conductor wire connected to it.

Double-Tapped Breakers



Don't 



Do 

© InterNACHI

Recommendation
Contact a qualified electrical contractor.



9.3.1 Floors, Walls & Ceilings CEILING, MINOR DAMAGE

 Recommendation

Minor damage or deterioration to the ceiling was visible at the time of the inspection.

Recommendation
Contact a qualified professional.



9.5.1 Smoke & CO Detectors MISSING SMOKE DETECTOR

 Recommendation

I observed indications of a missing smoke detector. Hazard. Each sleeping room should have a smoke detector.

Recommendation
Contact a qualified professional.

